

REDSTONE STRIP MALL

12888 52 ST NE

ISSUE FOR AMENDED DEVELOPMENT PERMIT – DP2017-1906



PROJECT DATA :

PROJECT TYPE : NEW COMMERCIAL RETAILS
LEGAL ADDRESS : BLOCK 53, LOT 23 N.R. OF PARENT PARCEL 121 0009
MUNICIPAL ADDRESS : 12888 52 ST NE, CALGARY, AB
ZONING : CC-1 (COMMERCIAL-COMMUNITY 1)

TOTAL SITE AREA : 0.421 Ha = 1.055 Ac
TOTAL BUILDING GFA : 1428.85sq.m. = 15380.7sq.ft.
TOTAL USE AREA: 1379.6 sq.m. = 14850 sq.ft.
PURPOSED FAR : 0.34
BYLAW ALLOWED FAR : 1.0

PROPOSED BUILDING HEIGHT : T.O. PARAPET HEIGHT 6.0m
BYLAW ALLOWED BUILDING HEIGHT : 10m

FRONT SETBACK : 3m REQUIRED, 3m PROVIDED
REAR SETBACK : 3m REQUIRED, 3m PROVIDED
SIDE SETBACK : 5m WHEN SHARING WITH RESIDENTIAL
5m PROVIDED

Architecturally Approved
Qualico Communities
Dated: February 26, 2018

BUILDING CODE SUMMARY:

BASED ON ALBERTA BUILDING CODE 2014

GENERAL INFORMATION
BUILDING AREA: 1428.85 m²
NUMBER OF STOREYS: 1 STOREY ABOVE GRADE
MAJOR OCCUPANCIES (3.1.2.1): GROUP E - MERCANTILE

BUILDING GOVERNING ARTICLE:
3.2.2.66. GROUP E, UP TO 3 STOREY,

- NON SPRINKLERED
- 1 STOREY, FACING 1 STREET MAXIMUM BUILDING AREA 1500 m²
- COMBUSTIBLE AND/OR NON-COMBUSBLE CONSTRUCTION
- FLOOR ASSEMBLIES 45 min. F.R.R.
- ROOF ASSEMBLIES 45 min. PERMITTED TO BE WAIVED PROVIDED THE ROOF ASSEMBLY IS OF NONCOMBUSTIBLE CONSTRUCTION OR AS A FIRE-RETARDANT-TREATED WOOD ROOF SYSTEM
- LOADBEARING WALLS, COLUMNS 45 min. F.R.R.

UNPROTECTED OPENING LIMITS
3.2.3.1.C.
SERVICE ROOMS
3.6.2.1. FIRE SEPARATION AROUND SERVICE ROOMS 1hr. F.R.R.

FIRE CLOSURES (3.1.8.4.)
FIRE SEPARATION F.R.R. CLOSURE MIN. F.R.R.
45min 45min
1h 45min
1.5h 1h
2h 1.5h

MINIMUM EGRESS WIDTH
3.4.3.2.A CORRIDORS 1100mm; DOORWAYS: 800mm

HEADROOM CLEARANCE
3.4.3.4. EXIT 2050mm; DOOR WAYS 2030mm

BARRIER-FREE DESIGN
3.8.2.2. DESIGNATED PARKING 3 STALLS REQUIRED; 3 STALLS PROVIDED

OCCUPANT LOAD (3.1.17)
GROUP E: 3.7m²/PERSON :
MAIN FLOOR: RETAIL 1 75.5m²/3.7m²=21 PERSON
RETAIL 2 93.5m²/3.7m²=26 PERSON
RETAIL 3 164.9m²/3.7m²=45 PERSON
RETAIL 4 107.7m²/3.7m²=30 PERSON
RETAIL 5 107.7m²/3.7m²=30 PERSON
RETAIL 6 107.7m²/3.7m²=30 PERSON
RETAIL 7 94.5m²/3.7m²=26 PERSON
RETAIL 8 105.4m²/3.7m²=29 PERSON
RETAIL 9 105.4m²/3.7m²=29 PERSON
RETAIL 10 105.4m²/3.7m²=30 PERSON
RETAIL 11 98.8m²/3.7m²=29 PERSON
RETAIL 12 100.8m²/3.7m²=28 PERSON
RETAIL 13 105m²/3.7m²=29 PERSON

WASHROOM FACILITIES
3.7.2.2.B: FOR GROUP E, IN EACH RETAIL
1 WATER CLOSET FOR EACH SEX REQUIRED;
2 UNISEX B.F.WATER CLOSET (ROUGH-IN) PROVIDED

LIST OF DRAWINGS :

ARCHITECTURAL
A0.0 COVER SHEET / GENERAL INFO
A0.1 SURVEY PLAN
A1.1 SITE PLAN
A1.2 SITE DETAILS
A2.1 FLOOR PLAN
A3.1 BUILDING ELEVATIONS
A3.2 BUILDING ELEVATIONS & SECTION

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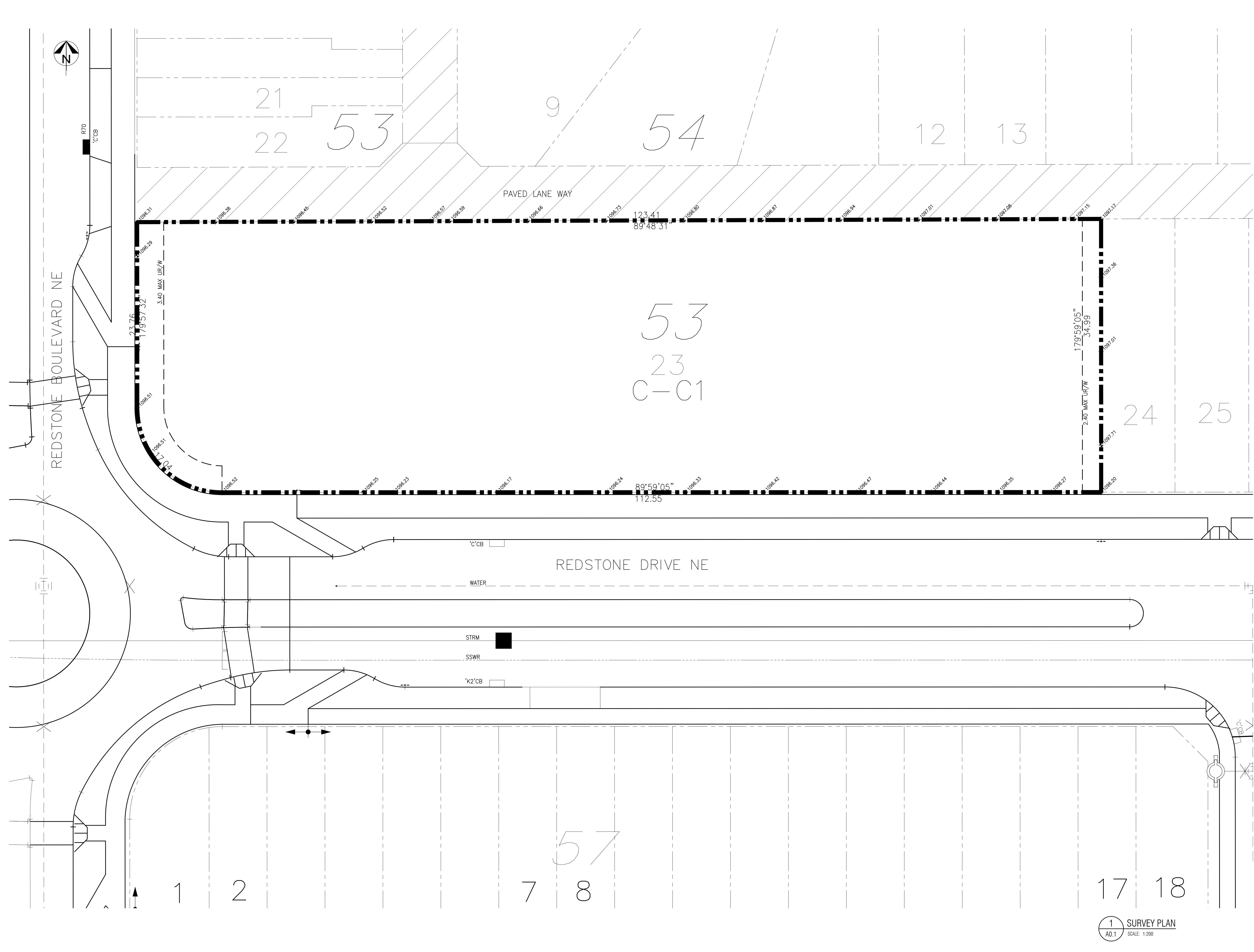
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2017-06-15 DTR1
2017-07-06 COA
2018-02-23 REVISED DEVELOPMENT PERMIT

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REDSTONE STRIP MALL
CALGARY ALBERTA

COVER SHEET & INFORMATION

ADDRESS 12888 52 ST NE
CLIENT MAXVIEW HOMES
DATE FEB 23, 2018 SCALE AS SHOWN
PROJECT NO. 17046 SHEET NO.
CHECK PP DRAWN EW
A0.0



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SURVEY PLAN

ADDRESS 12888 52 ST NE

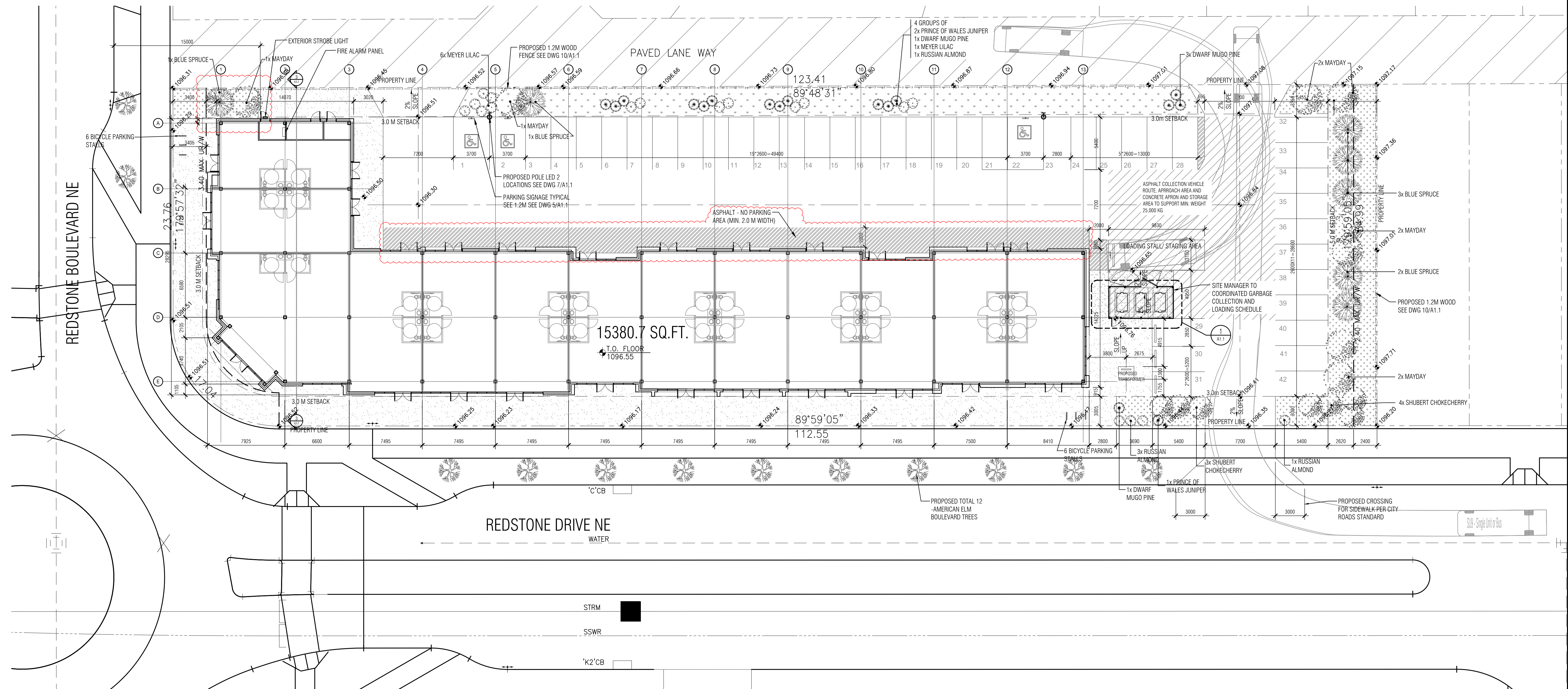
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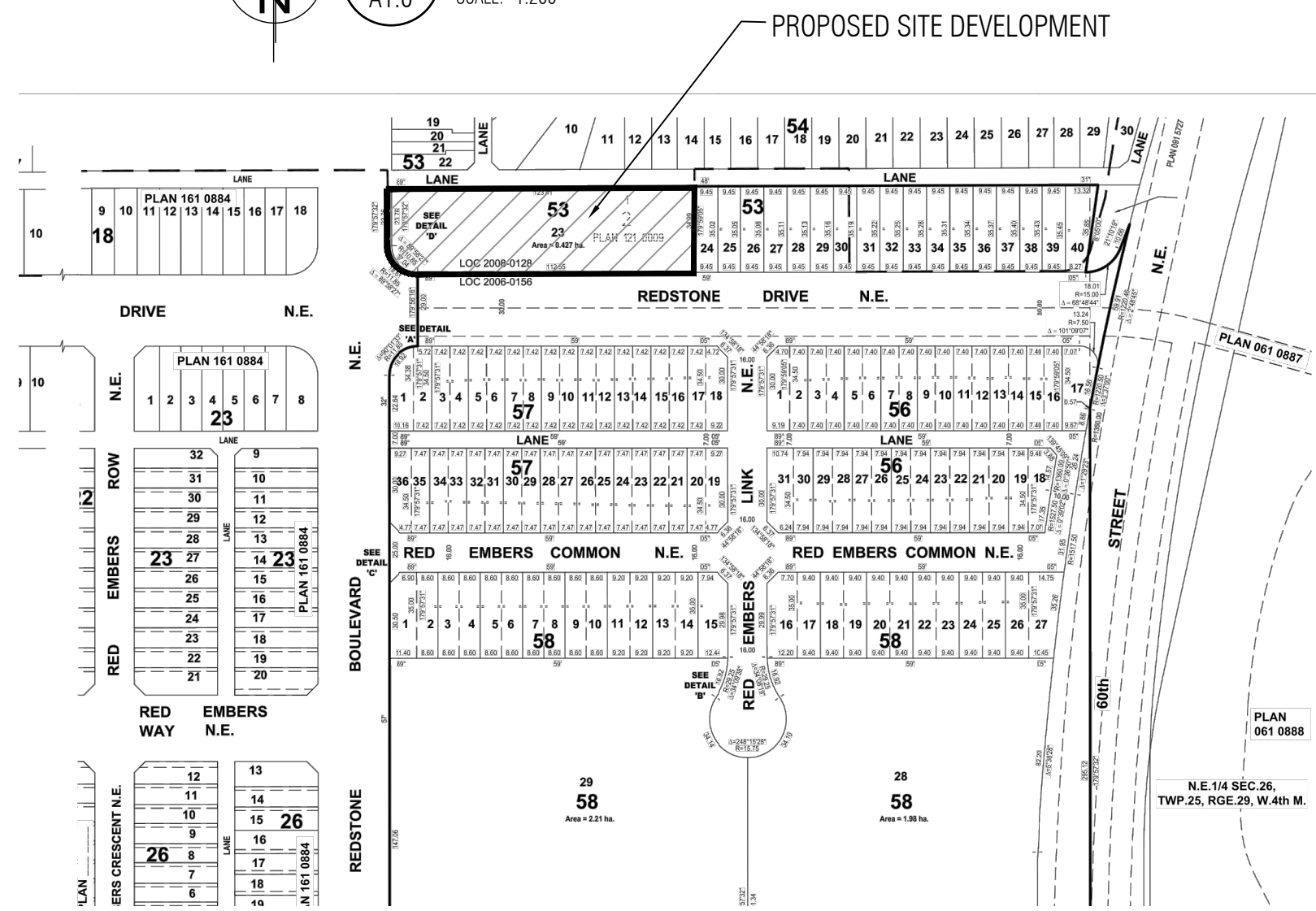
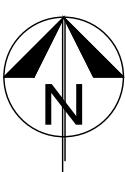
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1 SITE PLAN
SCALE: 1:200



2 KEY LOCATION PLAN
SCALE: N.T.S.

PARKING STALL CALCULATIONS

GROSS USABLE FLOOR AREA	1429m ² = 15381 SF
REQUIRED MOTOR VEHICLE PARKING STALLS	TOTAL 48 STALLS RETAILS: 3.5 STALL X 1429/100=50 STALLS W/ TRANSIT RELAXATION 5%
PROVIDED MOTOR VEHICLE PARKING STALLS	SURFACE: 42 STALL (INCLUDING 3 BF PARKING); LOADING 1 STALL
BICYCLE PARKING CLASS 1	NOT REQUIRED
BICYCLE PARKING CLASS 2	5% OF REQUIRED MOTOR VEHICLE PARKING STALLS 3 STALLS REQUIRED 12 STALLS PROVIDED

LANDSCAPING ANALYSIS - LOW WATER LANDSCAPING / ENHANCED LANDSCAPING OPTIONS (- minimum area)

1. THE LANDSCAPE DESIGN IS BASED ON LOW WATER LANDSCAPING, ENHANCED LANDSCAPING OPTIONS, AS PER SECTION 555, AND 556 OF THE CITY OF CALGARY BYLAW. AS SUCH A COMBINED 6% REDUCTION REQUIRED LANDSCAPE AREA IS REQUESTED AS PER SECTION 555.

ALL SOFT SURFACE LANDSCAPE AREAS TO BE IRRIGATED WITH UNDERGROUND LOW WATER IRRIGATION SYSTEM. THE LOW WATER IRRIGATION SYSTEM PROVIDED WILL BE CONFINED TO THE AREAS WHERE TREES AND SHRUBS ARE PLANTED.	
SITE AREA:	4266.85 m ²
BUILDING AREA:	1428.85 m ²
LANDSCAPED AREA REQUIRED:	972 m ²
TOTAL LANDSCAPED AREA PROVIDED:	1138 m ²
TOTAL SOFT LANDSCAPING:	522 m ²
SOD AREA - LOW WATER REQUIRED:	247 m ²
(LOW MAINTENANCE DROUGHT-RESISTANT GRASS)	
TOTAL HARD LANDSCAPING:	616 m ²

- a) WHERE A SETBACK AREA SHARES A PROPERTY LINE WITH AN LVT CORRIDOR OR STREET, THE SETBACK AREA MUST:
 - BE AS SOFT SURFACED LANDSCAPE AREA; AND
 - HAVE A MIN OF 1.0 TREE AND 2.0 SHRUBS:
 - FOR EVERY 30.0 SQUARE METERS OR
 - FOR EVERY 50.0 SQUARE METERS, WHERE IRRIGATION IS PROVIDED BY A LOW WATER IRRIGATION SYSTEM (453/50 = TREE 9.06, SHRUB 18.12)
- b) WHERE A SETBACK AREA SHARES A PROPERTY LINE WITH A PARCEL DESIGNATED AS A RESIDENTIAL DISTRICT, THE SETBACK AREA MUST:
 - BE A SOFT SURFACED LANDSCAPE AREA;
 - PROVIDE A MIN OF 1.0 TREE:
 - FOR EVERY 30.0 SQUARE METERS, OR
 - FOR EVERY 45.0 SQUARE METERS, WHERE IRRIGATION IS PROVIDED BY LOW WATER IRRIGATION SYSTEM (145/45 = 3.2 (TREE))
- c) WHERE A SETBACK AREA SHARES A PROPERTY LINE WITH A LANE OR A PARCEL DESIGNATED AS A COMMERCIAL, INDUSTRIAL OR SPECIAL PURPOSE DISTRICT, THE SETBACK AREA:
 - MUST BE A SOFT SURFACE LANDSCAPED AREA;
 - MAY HAVE A SIDEWALK ALONG THE LENGTH OF THE BUILDING; AND
 - MUST PROVIDE A MIN OF 1.0 TREES AND 2.0 SHRUBS
 - FOR EVERY 35.0 SQUARE METER, OR
 - FOR EVERY 45.0 SQUARE METER, WHERE IRRIGATION IS PROVIDED BY A LOW WATER IRRIGATION SYSTEM (361/45 = TREE 8.02, SHRUB 16.04 SHRUB)

TOTAL : 20.28 TREES REQUIRED; 22 TREES PROVIDED
34.16 SHRUBS REQUIRED; 35 SHRUBS PROVIDED

- CONIFEROUS TREE:
A MINIMUM OF 25% OF ALL TREES PROVIDED MUST BE CONIFEROUS TREES : 5.25 REQUIRED, 7 PROVIDED
AT LEAST 50% OF THE PROVIDED CONIFEROUS TREES MUST HAVE A MINIMUM HEIGHT OF 3.0m AT THE TIME OF PLANTING.
CONIFEROUS TREES HAVE A MINIMUM HEIGHT OF 2.0m
- DECIDUOUS TREE:
AT LEAST OF 50% OF THE PROVIDED DECIDUOUS TREES MUST HAVE A MINIMUM CALIPER OF 75mm AT THE TIME OF PLANTING - REQUIRED = 7.5 = 8 PROVIDED
THE REMAINDERS HAVE A MINIMUM CALIPER OF 50mm

DECIDUOUS TREES	QUANTITY	SIZE	LATIN NAME
MAYDAY (LOW WATER)	8	75mm CALIPER	Prunus padus commutata
SCHUBERT CHOKECHERRY (LOW WATER)	7	50mm CALIPER	Prunus virginiana 'Schubert'
CONIFEROUS TREES			
BLUE SPRUCE(LOW WATER)	7	3000mm HIGH	Picea Pungens
DECIDUOUS SHRUBS(LOW WATER)			
MEYER LILAC	10	600mm HEIGHT	Syringa Meyeri
RUSSIAN ALMOND	8	600mm HEIGHT	Prunus tenella
CONIFEROUS SHRUBS(LOW WATER)			
DWARF MUGO PINE	8	600mm SPREAD	Pinus mugo 'Pumilio'
PRINCE OF WALES JUNIPER	9	600mm SPREAD	Juniperus horizontalis 'Prince of Wales'

CEMENT BROOM FINISH	GRASS AREA (LOW MAINTENANCE DROUGHT RESISTANT GRASS)	ASPHALT
ALPINE MULCH	ASPHALT AND CONCRETE AREAS - MIN. WEIGHT SUPPORT 25000KG	ASPHALT - PAINTED NO PARKING AREA
DECIDUOUS TREE	CONIFEROUS TREE	DECIDUOUS SHRUB
CONIFEROUS TREE	DECIDUOUS SHRUB	CONIFEROUS SHRUB
BOULEVARD TREE - AMERICAN ELM		

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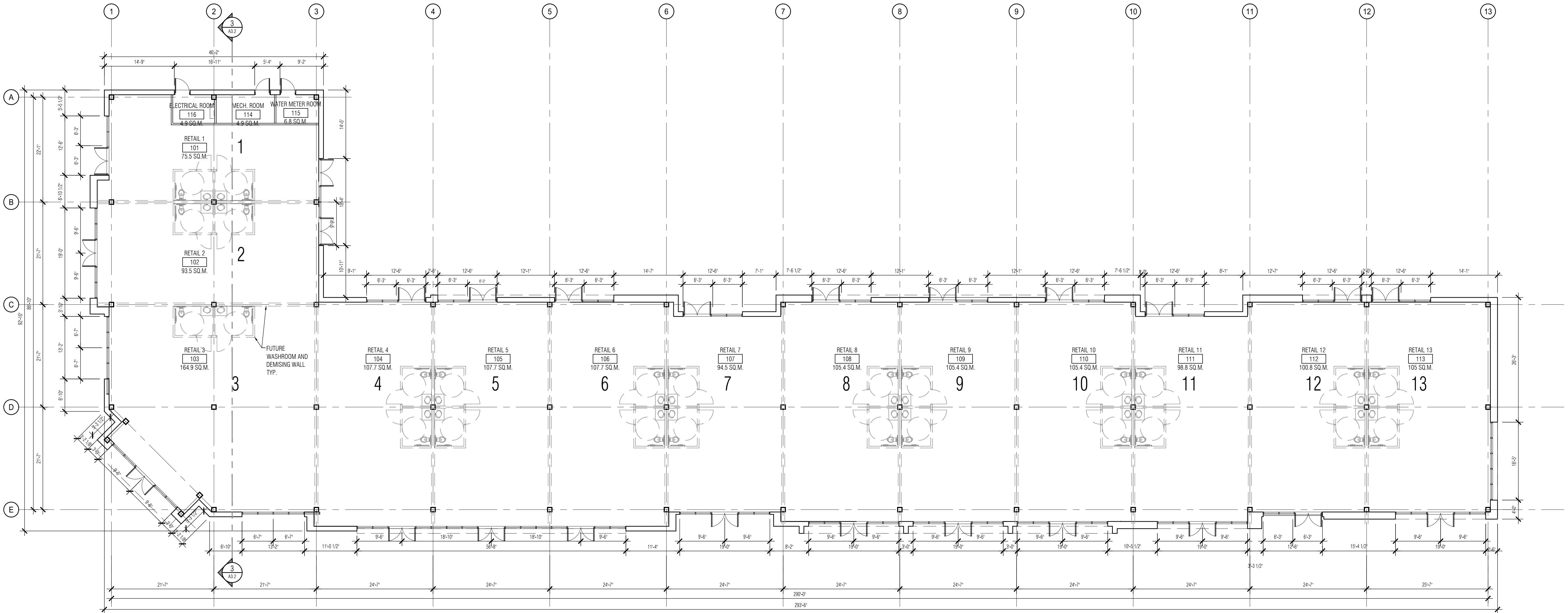
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SITE PLAN

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SHEET NO.	A1.1



1 MAIN FLOOR PLAN
A2.1
SCALE: 1/4" = 1'-0"

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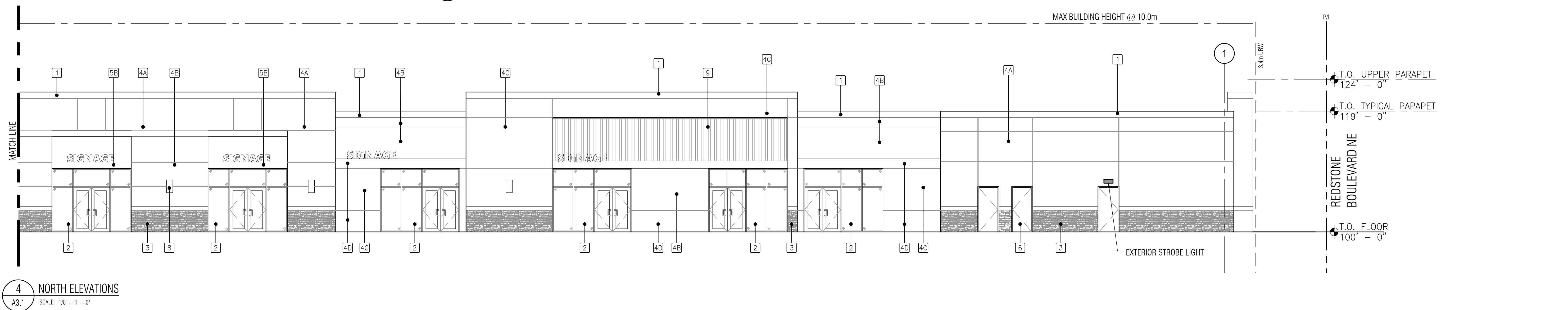
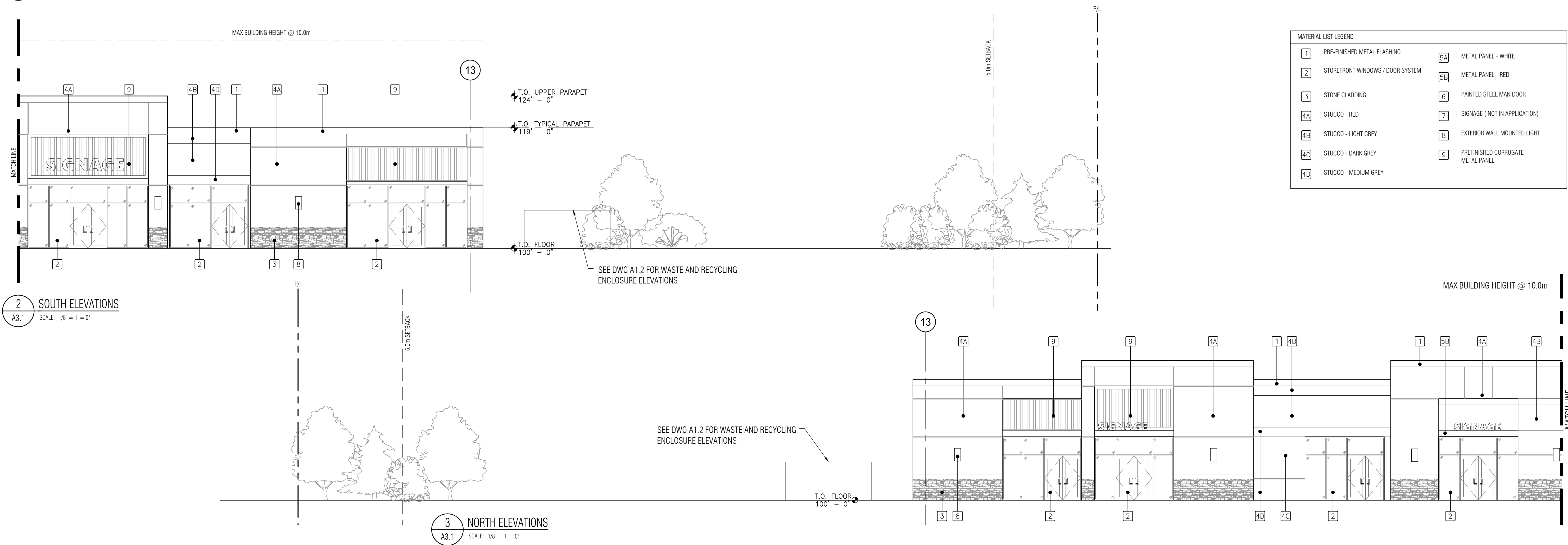
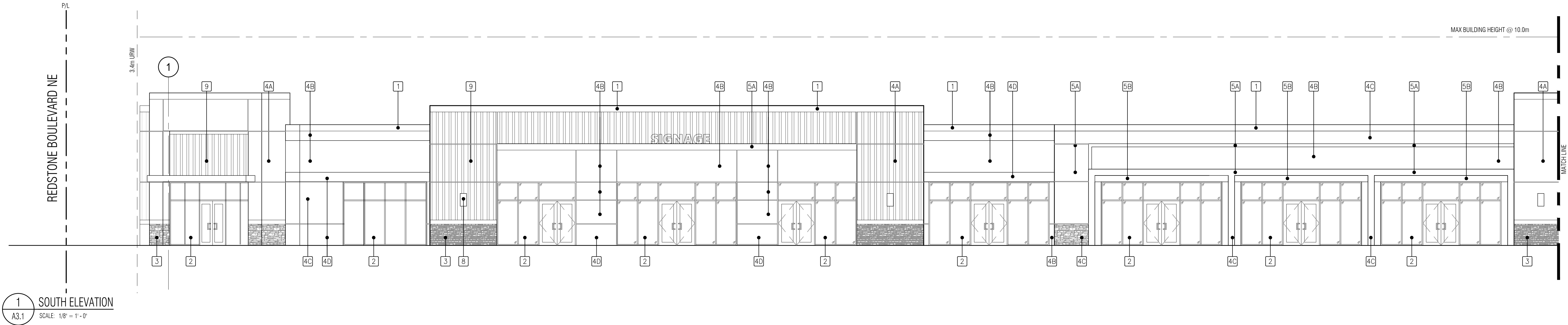
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FLOOR PLAN

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BUILDING
ELEVATIONS

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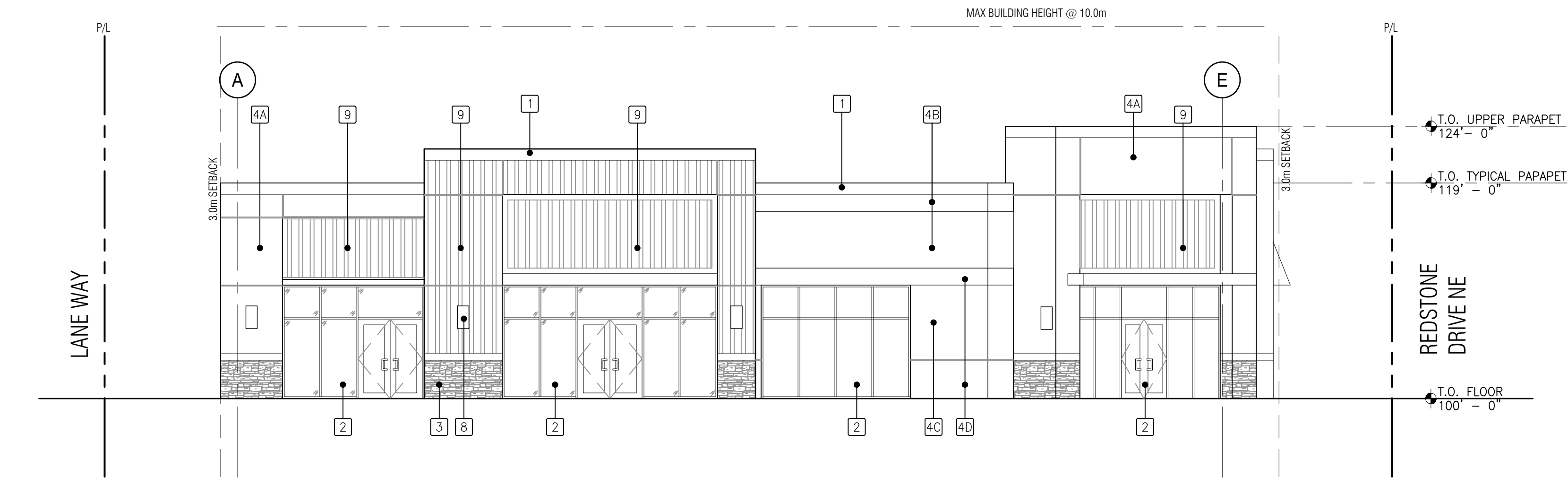
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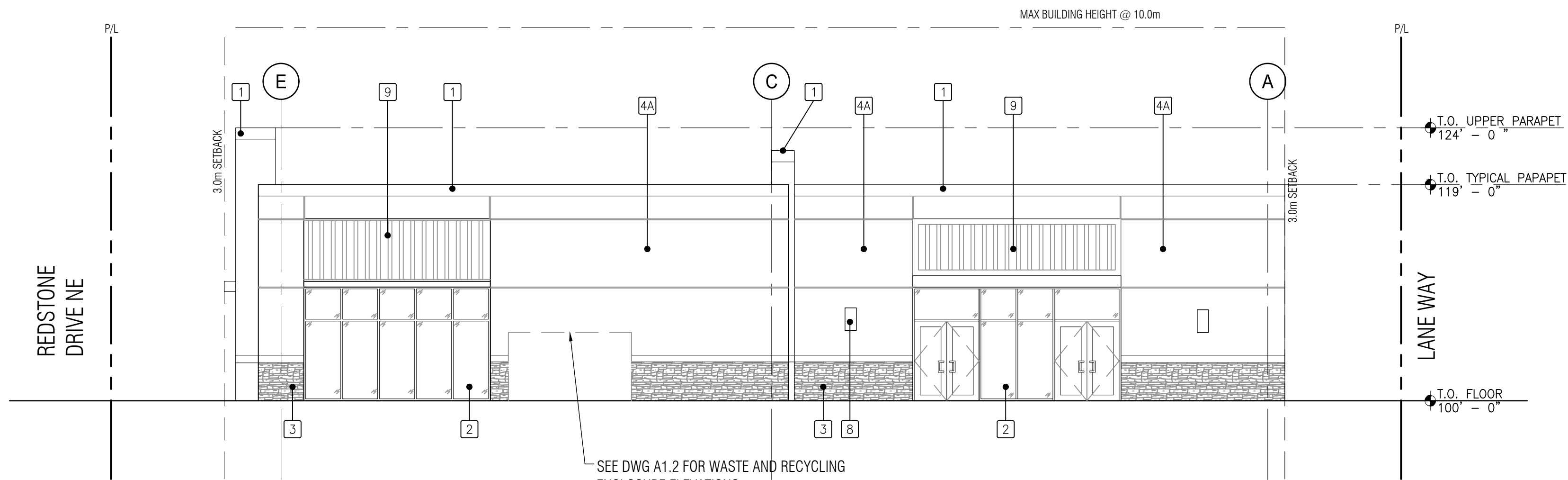
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A3.1



1 WEST ELEVATIONS
A3.2 SCALE: 1/8" = 1'-0"



2 EAST ELEVATIONS
A3.2 SCALE: 1/8" = 1'-0"



3 BUILDING SECTION
A3.2 SCALE: 1/8" = 1'-0"

MATERIAL LIST LEGEND			
1	PRE-FINISHED METAL FLASHING	5A	METAL PANEL - WHITE
2	STOREFRONT WINDOWS / DOOR SYSTEM	5B	METAL PANEL - RED
3	STONE CLADDING	6	PAINTED STEEL MAN DOOR
4A	STUCCO - RED	7	SIGNAGE (NOT IN APPLICATION)
4B	STUCCO - LIGHT GREY	8	EXTERIOR WALL MOUNTED LIGHT
4C	STUCCO - DARK GREY	9	PREFINISHED CORRUGATE METAL PANEL
4D	STUCCO - MEDIUM GREY		

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ELEVATIONS & SECTION

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A3.2